

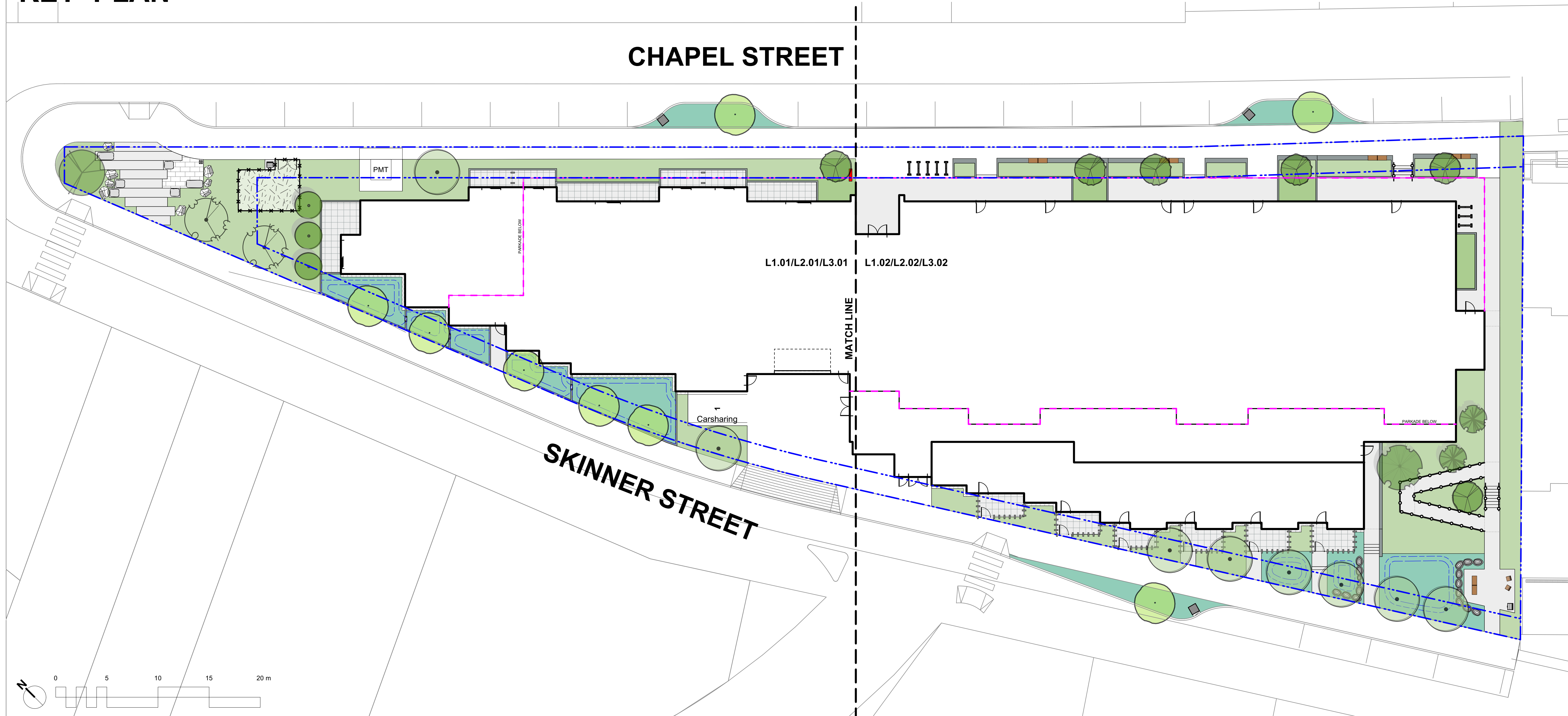
Primex Investments Ltd.

77 Chapel Street

Nanaimo, British Columbia

Landscape Sheets	
Sheet No.	Sheet Title
L0.00	Cover
L0.01	General Information Sheet
L0.03	Stormwater Management
L1.01	Landscape Materials
L1.02	Landscape Materials
L1.03	Landscape Materials - Roof
L2.01	Landscape Grading & Drainage
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L2.03	Landscape Elevations
L3.01	Planting
L3.02	Planting
L3.03	Planting - Roof

KEY PLAN



NOTFORCONSTRUCTION

No.	Issued For	Issue Date
1	DP Submission	2024-07-22



3388A Terryson Ave. Phone: 250 412-2891
Victoria, BC V8Z 3P6 Fax: 250 412-2892



client
Primex Investments Ltd.
1758 W 4th Ave #200
Vancouver, BC

project
77 Chapel Street
77 Chapel Street
Nanaimo, BC

sheet title
Cover

RECEIVED
DP1350
2024-JUL-25
Current Planning

project no. 124.09
scale 1:200 @ 24"x36"
drawn by MDI
checked by SM
sheet no.

L0.00

GENERAL NOTES

- 1. Work performed shall comply with the following: a) These General Notes, and Construction Documents and Specifications; b) Canadian Landscape Standards, Current Edition (CLS-CE); and c) All applicable local, provincial, and federal codes, ordinances, and regulations.
- 2. Contractor shall be responsible for verifying all existing site conditions including location of all property lines, existing structures, utilities, and buried infrastructure. Verify all field conditions prior to commencing work.
- 3. Contractor is responsible for determining means and methods for construction. These drawings may indicate a limit of proposed improvements or limit of work for the delineation of expected extents of disturbance. Should limits of disturbance exceed boundaries defined in drawings, contractor shall contact Landscape Architect for resolution.
- 4. Contractor is responsible for repairing all work disturbed by construction outside of limit lines defined on drawings or through their means and methods to a condition better than or equal to the existing conditions prior to commencement of construction at no additional cost to the owner.
- 5. Contractor is responsible for maintaining a complete up-to-date set of drawings and specifications at the construction site and ensuring the documents are readily available for review by the Landscape Architect and governing agency.
- 6. Contractor is responsible for coordination of all designs, drawings, specifications and other documents or publications upon which construction is based. Any discrepancies with the drawings and/or specifications and site conditions shall be brought to the attention of the Landscape Architect, prior to proceeding with construction.
- 7. The drawings and specifications are complementary to one another and implied to correspond with one another. Any discrepancies should be brought to the attention of the Landscape Architect for resolution immediately.
- 8. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.

SITE GRADING AND DRAINAGE NOTES

- 1. All elevations are in meters.
- 2. Refer to Architectural plans, sections and elevations for top of slab elevations. Slab elevations indicated on Landscape drawings are for reference only. Report any discrepancies to consultant for review and response.
- 3. All road, public walkway and vehicular drive aisles and parking area elevations indicated on the Landscape drawings are for reference only. Refer to Civil Engineering drawings. Report any discrepancies to consultant for review and response.
- 4. Confirm all existing grades prior to construction. Report any discrepancies to consultant for review and response.
- 5. Unless otherwise noted provide a minimum slope of 2% on all hard and soft Landscape areas to ensure positive drainage away from buildings, to rain gardens, or to drainage devices.
- 6. All landscape areas shall not exceed a maximum slope of 3:1 in all instances.
- 7. Upon discovery, contractor to refrain from blasting root to meet landscape subgrades. Contractor to contact Landscape Architect on how to proceed in each instance.

IRRIGATION NOTES

- 1. Contractor to provide irrigation system for all planters to current IABC Standards and Contract Specifications.
- 2. All specified work to meet the project specifications, and all standards or specifications established in the latest edition of the Canadian Landscape Standard and IABC standards.
- 3. Design/build drawings for detailed irrigation plan to be submitted to Contract Administrator in PDF and dwg formats at least two weeks prior to commencement of irrigation installation.
- 4. Utilities - Contractor to verify location of all on-site utilities, prior to construction. Restoration of damaged utilities shall be made at the contractor's expense, to the satisfaction of the owner's representatives.
- 5. Refer to electrical drawings for electrical service.
- 6. Controller and backflow prevention device to be located in Mechanical Room, unless otherwise noted. Refer to Mechanical drawings for size and location of irrigation service.
- 7. Contractor to verify pressure and flow prior to installation of irrigation and notify owner's representative in writing if such data adversely affects the operation of the system.
- 8. Sleeves shall be installed at the necessary depths, prior to pavement construction. Sleeving shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.
- 9. Contractor to field fit irrigation system around existing trees, to limit disturbance to root systems.
- 10. At various milestones during construction, inspection and testing of components will be required to ensure that the performance of irrigation system meets standards and specifications. Contractor to provide equipment and personnel necessary for performance of inspections and tests. Conduct all inspections and tests in the presence of the contract administrator. Keep work uncovered and accessible until successful completion of inspection or test.
- 11. Over spray onto hardscape areas to be minimized. Use drip irrigation within small planting areas to avoid overspray.
- 12. Trees within shrub or rain garden areas to be irrigated with spray heads.
- 13. Trees in Plaza in hard pavement (soil cells below) to receive temporary irrigation system around root collar and permanent drip irrigation system

GROWING MEDIUM NOTES

- 1. Refer to Landscape Specifications for growing medium properties by soil type.
- 2. Advise Contract Administrator of sources of growing medium to be utilized 14 days in advance of starting work.
- 3. Growing medium properties and handling shall meet CLS-CE (see Section 6 CLS-CE).
- 4. Contractor is responsible for soil analysis and amendment requirements to supply suitable growing medium, as specified by testing agency. Soil analysis and amendment costs shall be included in the price for the work.
- 5. Submit to the Landscape Architect a copy of the soil analysis report from Pacific Soil Analysis Inc. 5-11720 Voyageur Way, Richmond, BC, V6X 3G9. p. 604- 273-8226. The analysis shall be of tests done on the proposed growing medium from stratified samples taken from the supply source. Costs of the initial and all subsequent tests to ensure compliance with the specifications shall be borne by the Contractor.
- 6. Contract Administrator will collect sample of growing medium in place and determine acceptance of material, depth of growing medium and finish grading. Approval of growing medium material subject to soil testing and analysis. Planting is not to occur until finished grades have been approved by Contract Administrator.

SITE LAYOUT NOTES

- 1. Provide layout of all work for approval by Contract Administrator prior to proceeding with work. Requests for site review as required 48 hours in advance of performing any work, unless otherwise noted on this sheet.
- 2. Layout and verify dimensions prior to construction. Bring discrepancies to the attention of the Contract Administrator.
- 3. Written dimensions take precedence over scale. Do not scale drawings.
- 4. All plan dimensions in metres and all detail dimensions in millimetres, unless otherwise noted.
- 5. Where dimensions are called as 'equal' or 'eq', space referenced items equally, measured to centre line.

GENERAL PLANTING NOTES

- 1. Plant quantities on Plans shall take precedence over plant list quantities.
- 2. Provide layout of all work for approval by Contract Administrator prior to proceeding with work.
- 3. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- 4. Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes. Substitutions to be approved by Landscape Architect.

ON-SLAB TREE PLANTING NOTES

- 1. For on-slab landscape, a root barrier will be installed to protect exposed water proof membranes. A dimple board (drain mat) will be installed over the root barrier.
- 2. Parkade walls and foundation walls will be protected with a dimple board (drain mat) to convey water to the perimeter drain and protect wall from roots.
- 3. A root barrier will be installed between the tree roots and perimeter drain, to minimize tree root interference with the drain, where the follow conditions exist in on-grade planting areas: a) where trees less than 8m tall are located closer than 2m from a parkade or foundation wall; b) where trees more than 8m tall are located closer than 3m from a parkade or foundation wall; and c) where perimeter drains are less than 2m deep.

BOULEVARD PLANTING NOTES

- 1. Boulevard trees have been placed to avoid existing and proposed infrastructure. Trees planted within 1m of an existing underground municipal service will have a root barrier installed between the root ball and the existing infrastructure.
- 2. Boulevard trees will be placed a minimum of 1.5m from an above ground municipal service such as fire hydrant, streetlight or driveway.
- 3. Boulevard tree species have been picked from the municipality's list of recommended boulevard trees or have been selected due their site-adapted qualities. Final selection of boulevard trees to be determined through consultation with municipal parks staff.
- 4. Irrigation to be installed as per Municipal Specifications, for all boulevard planting areas (unless otherwise indicated).
- 5. Design/build drawings for boulevard irrigation to be submitted to Contract Administrator in PDF and dwg formats, at least two weeks prior to commencement of irrigation installation and will be reviewed by municipal staff.
- 6. Refer to Civil drawings for location of boulevard irrigation point of connection. Separate water meter and timer/controller, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff.
- 7. Boulevard irrigation to be inspected as per municipal specification by municipal staff. Boulevard tree irrigation system will be maintained and operated by municipality, after it is inspected and approved by municipal staff.

PAVING NOTES

- 1. Final concrete control joint layout to be confirmed by Landscape Architect prior to installation. Control joints to logically align with edges, corners, and intersections of Landscape and Architectural elements and/or as indicated on plan. Contractor to obtain layout approval by Landscape Architect prior to installation. Contractor to pour concrete pavement in alternating panels as required to achieve control joint design and to prevent cracking.
- 2. Cast in place concrete areas that are subject to vehicular loading shall be structurally reinforced for applicable vehicular loading requirements. See Structural Engineering drawings.

WARRANTY AND MAINTENANCE NOTES

- 1. Contractor is responsible for Maintenance from installation to Acceptance of the work by the Contract Administrator.
- 2. Refer to Landscape Specifications for Maintenance Period (1 year) following Acceptance.
- 3. Landscape installation to carry a 1-year warranty from date of acceptance. This warranty is based on adequate maintenance by the Owner after Acceptance, as determined by the Landscape Architect. The Contractor will not be responsible for plant loss or damage to other products by causes out of the Contractor's control, such as vandalism, "acts of God", "excessive wear and tear", or abuse.
- 4. Contractor is responsible for plant damage, failure and death due to poor delivery, storage and handling, and all other installation related aspects up until the End of Warranty period.
- 5. Plant material, installation and maintenance to conform with the current edition of the Canadian Landscape Standards, and the Contract Specifications

LIST OF ABBREVIATIONS

APPROX	APPROXIMATE	M	METRE
ARCH	ARCHITECT	MAX	MAXIMUM
AVG	AVERAGE	MFR	MANUFACTURER
B&B	BALLED AND BURLAPPED	MH	MANHOLE
BC	BOTTOM OF CURB	MIN	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
BN	BENCHMARK	MM	MILLIMETRE
BC	BOTTOM OF CURB	N	NORTH
BR	BOTTOM OF RAMP	NIC	NOT IN CONTRACT
BW	BOTTOM OF STEP	NO	NUMBER
BS	BOTTOM OF WALL	NOM	NOMINAL
CAL	CALIPER	NTS	NOT TO SCALE
CB	CATCH BASIN	OC	ON CENTER
CF	CUBIC FEET	OD	OUTSIDE DIAMETER
CIP	CAST IN PLACE	PC	POINT OF CURVATURE
CL	CENTER LINE	PE	POLYURETHANE
CLR	CLEARANCE	PI	POINT OF INTERSECTION
CM	CENTIMETER	PL	PROPERTY LINE
CO	CLEAN OUT	PT	POINT, POINT OF TANGENCY
CONT	CONTINUOUS	PVC	POLYVINYL CHLORIDE
CU M	CUBIC METRE	QTY	QUANTITY
DEG	DEGREE	R	RADIUS
DEMO	DEMOLISH, DEMOLITION	REF	REFERENCE
DIA	DIAMETER	REINF	REINFORCE(D)
DIM	DIMENSION	REQ'D	REQUIRED
DTL	DETAIL	REV	REVISION
DWG	DRAWING	ROW	RIGHT OF WAY
E	EAST	S	SOUTH
EA	EACH	SAN	SANITARY
EL	ELEVATION	SD	STORM DRAIN
ENG	ENGINEER	SF	SQUARE FOOT (FEET)
EQ	EQUAL	SHT	SHEET
EST	ESTIMATE	SIM	SIMILAR
E.W.	EACH WAY	SPECS	SPECIFICATIONS
EXIST	EXISTING	SQ M	SQUARE METRE
EXP	EXPANSION, EXPOSED	STA	STATION
FFE	FINISHED FLOOR ELEVATION	STD	STANDARD
FG	FINISHED GRADE	SYM	SYMMETRICAL
FL	FLOW LINE	T&B	TOP AND BOTTOM
FOC	FACE OF CURB	TC	TOP OF CURB
FT	FOOT (FEET)	TF	TOP OF FOOTING
FTG	FOOTING	TH	THICK
GA	GAUGE	TI	TOPOGRAPHY
GEN	GENERAL	TOPO	TOPOGRAPHY
GR	GRADE ELEVATION	TR	TOP OF RAMP
HORIZ	HORIZONTAL	TS	TOP OF STEP
HP	HIGH POINT	TW	TOP OF WALL
HT	HEIGHT	TYP	TYPICAL
ID	INSIDE DIAMETER	VAR	VARIABLE
INV	INVERT ELEVATION	VOL	VOLUME
IN	INCH(ES)	W	WITH
INCL	INCLUDE(D)	W/O	WITHOUT
JT	JOINT	WT	WEIGHT
L	LINEAR FEET	WL	WATER LEVEL
LF	LINEAR FEET	WV	WELDED WIRE FRAME
LP	LOW POINT	YD	YARD
		@	AT

LINE TYPE LEGEND

	Property line
	Building Footprint
	Extent of Roof / Canopy, above
	Extent of Parkade, below
	Right of Way
	Rain garden - TOP OF POOL
	Rain garden - BOTTOM OF POOL
	Proposed Contour Line, 0.5m interval
	Existing Contour Line, 0.5m interval
	Extent of Existing Treeline
	SPEA
	RAR Setback

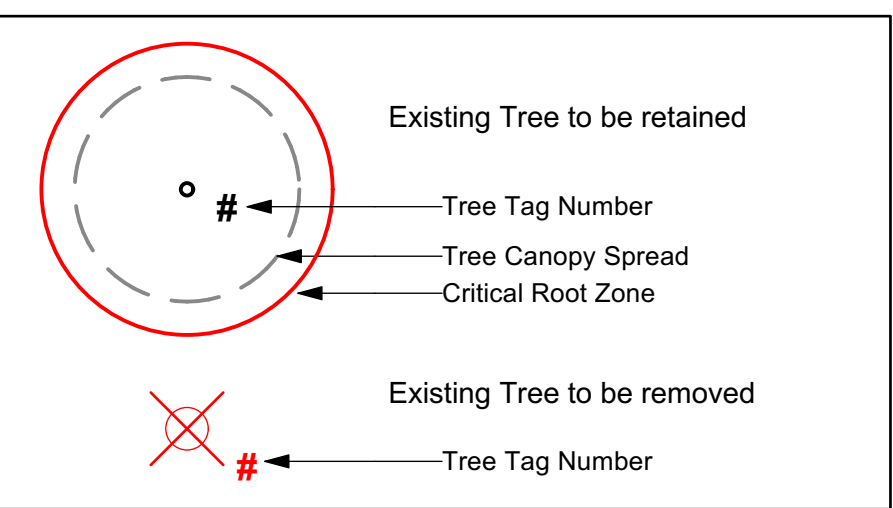
UNDERGROUND UTILITIES

(Shown for reference only - refer to Civil Engineer's drawings).

EXISTING		PROPOSED
	Storm Drain	
	Sewer	
	Water	
	Electrical	
	Gas	
	Hydro Tel	

EXISTING TREE LEGEND

(Refer to Arborist Report and Tree Management Plan for full details and management strategies).

**GRADING LEGEND**

	Proposed Landscape Grade	
	Existing Grade	
	Architectural grade, for reference only	
	Civil Grade, for reference only	

LANDSCAPE INFRASTRUCTURE LEGEND

	Perforated Underdrain	
	Sched 40 PVC	
	Clean Out	
	Rain Garden Overflow Drain	
	Area Drain	
	Top of Wall Notch Rain Garden Overflow	
	Curb Inlet	

MATERIALS LEGEND

	Municipal Sidewalk (for reference only)
	Asphalt Paving - Road / Drive Aisle / Parking (for reference only)
	Concrete Paving Cast in place, light broom finish. Sawcut control joints.
	Unit Paver - Type 1
	Unit Paver - Type 2
	Boardwalk

STEPS, RAMPS, CURBS, WALLS

	Retaining Wall - Concrete
	Seat Wall - Concrete
	Weir - Concrete
	Landscape Boulder
	Rock Retention
	Stairs with Handrail To meet BCBC requirements
	Ramp with Handrail To meet BCBC requirements

FENCING & RAILS

	Handrail To meet BCBC Requirements
	Privacy Screen
	Fence - Chain Link (Dog Run) 1200mm height
	Gate 1200mm height

SITE FURNISHINGS

	Bike Rack
	Bench - Backless with Armrest
	Chair
	Waste Receptacle
	Ash Receptacle
	Stone Seating
	Planter - Metal

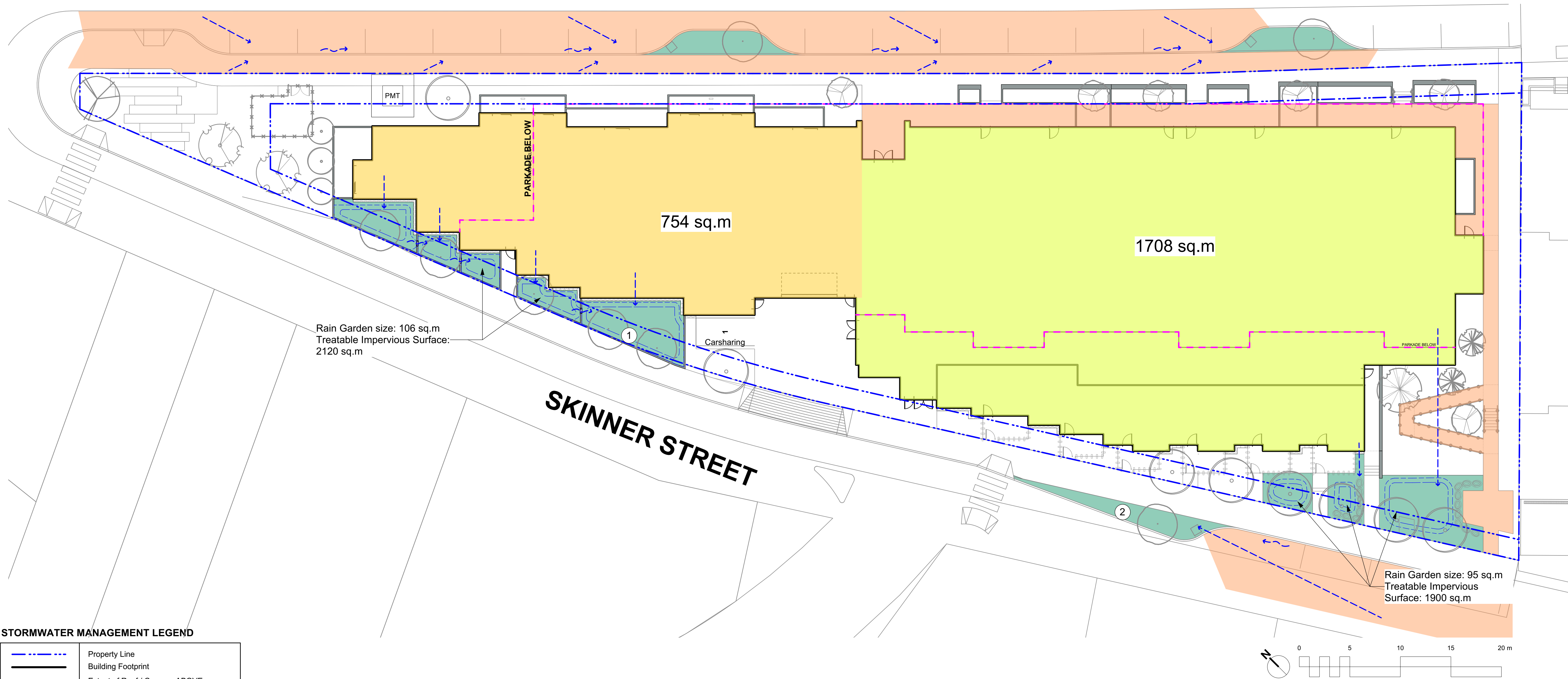
SOFTSCAPE

	Planting Area -Tree & Shrub -On Grade -450mm Depth -Shrub Growing Medium.
	Planting Area -Tree & Shrub -On Slab -Depth Varies, See Plan -Type 1P growing medium. Confirm maximum depth allowable as per Structural Drawings.
	Planting Area -Rain Garden -On Grade -450mm Depth -Rain Garden Growing Medium.
	Synthetic Turf (Dog Run)
	Gravel Maintenance Edge -150 mm Depth, 300 mm Width -Max gravel size 25mm (1").

1	DP Submission	2024-07-22		
No.	Issued For	Issue Date		
338A Tunney Pasture Ave. Phone: 250 412-2991 Victoria, BC V8Z 3P6 Fax: 250 412-2992				
client	Primex Investments Ltd. 1758 W 4th Ave #200 Vancouver, BC			
project	77 Chapel Street 77 Chapel Street Nanaimo, BC			
sheet title				
General Information Sheet				
project no.	124.09	scale	NTS @ 24"x36"	
drawn by	MDI			
checked by	SM			
sheet no.	L0.01			

ALL DRAWINGS TO BE READ IN ASSOCIATION WITH CONTRACT SPECIFICATIONS.

CHAPEL STREET

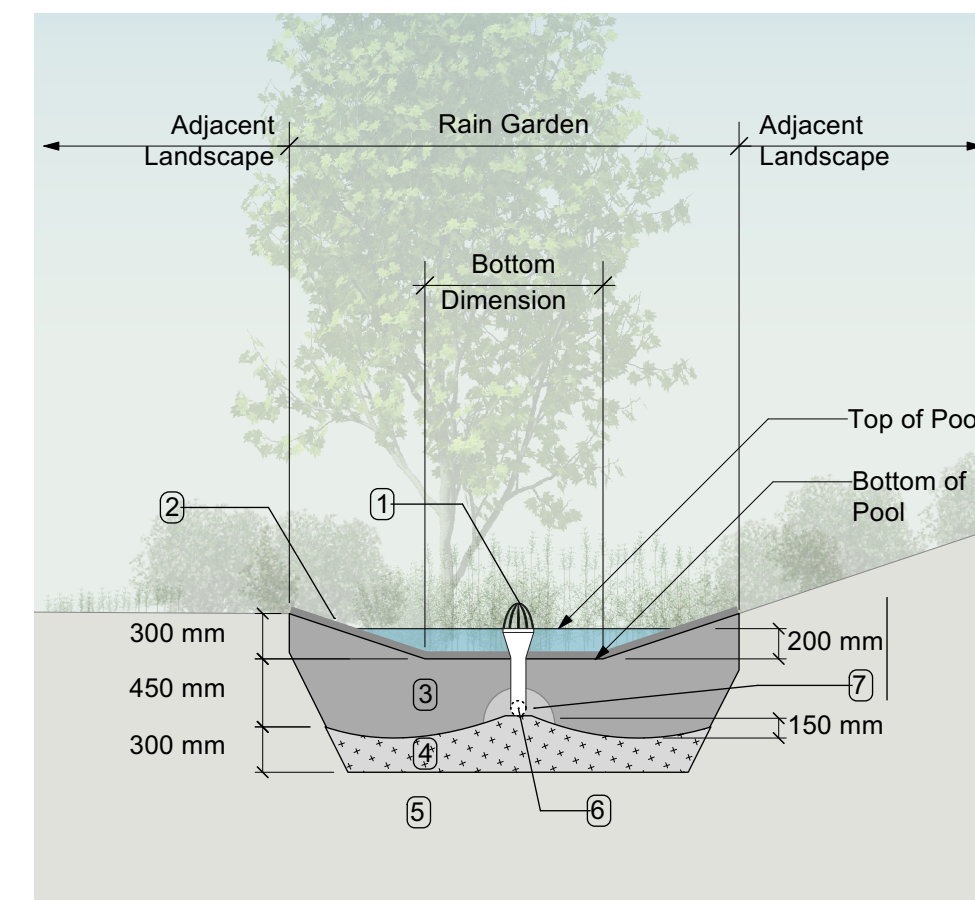


Rain Garden size: 106 sq.m
Treatable Impervious Surface: 2120 sq.m

Rain Garden size: 95 sq.m
Treatable Impervious Surface: 1900 sq.m

STORMWATER MANAGEMENT LEGEND

	Property Line
	Building Footprint
	Extent of Roof / Canopy, ABOVE
	Extent of Parkade, BELOW
	Rain Garden Top of Pool (TP)
	Rain Garden Bottom of Pool (BP)
	Existing Grade
	Proposed Landscape Grade
	Direction of Flow
	Rain Garden Area
	Roof Catchment Areas
	Impermeable Surface Area



RAIN GARDEN MATERIALS

1. Overflow drain, 200 mm domed grate + adapter
2. Composted mulch, 50-70 mm depth
3. Bio-retention growing medium, 450 mm depth
4. Scarified/tilled subgrade, 300 mm depth
5. Existing subgrade/native material
6. 100 mm diameter (min) perforated pipe
7. 25 mm diameter drain rock, 100 mm depth

RAIN WATER MANAGEMENT NOTES

Water collected from road areas, building roofs, flow to the rain gardens located throughout the site.

Rain gardens are integrated building landscapes and landscape bulges within streetscape areas and are designed to capture, slow flows, and treat runoff from roadways.

Rain gardens will be designed with underdrains and a high-capacity overflow drain that will be connected to the onsite piped drainage system.

The rain gardens are sized such that the bottom of the rain garden is 5% of the impervious area.

1 Typical Rain Garden
Scale: 1:50



1. Terraced rain gardens along building.



2. Street surface runoff collection into rain garden.

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MDI
Landscape Architects
3388A Terryson Ave. Victoria, BC V8Z 3P6
Phone: 250 412-2891 Fax: 250 412-2892

BRITISH COLUMBIA SOCIETY OF LANDSCAPE ARCHITECTS
REGISTERED MEMBER
Scott Murdoch
341
2024-07-22

client
Primex Investments Ltd.
1758 W 4th Ave #200
Vancouver, BC

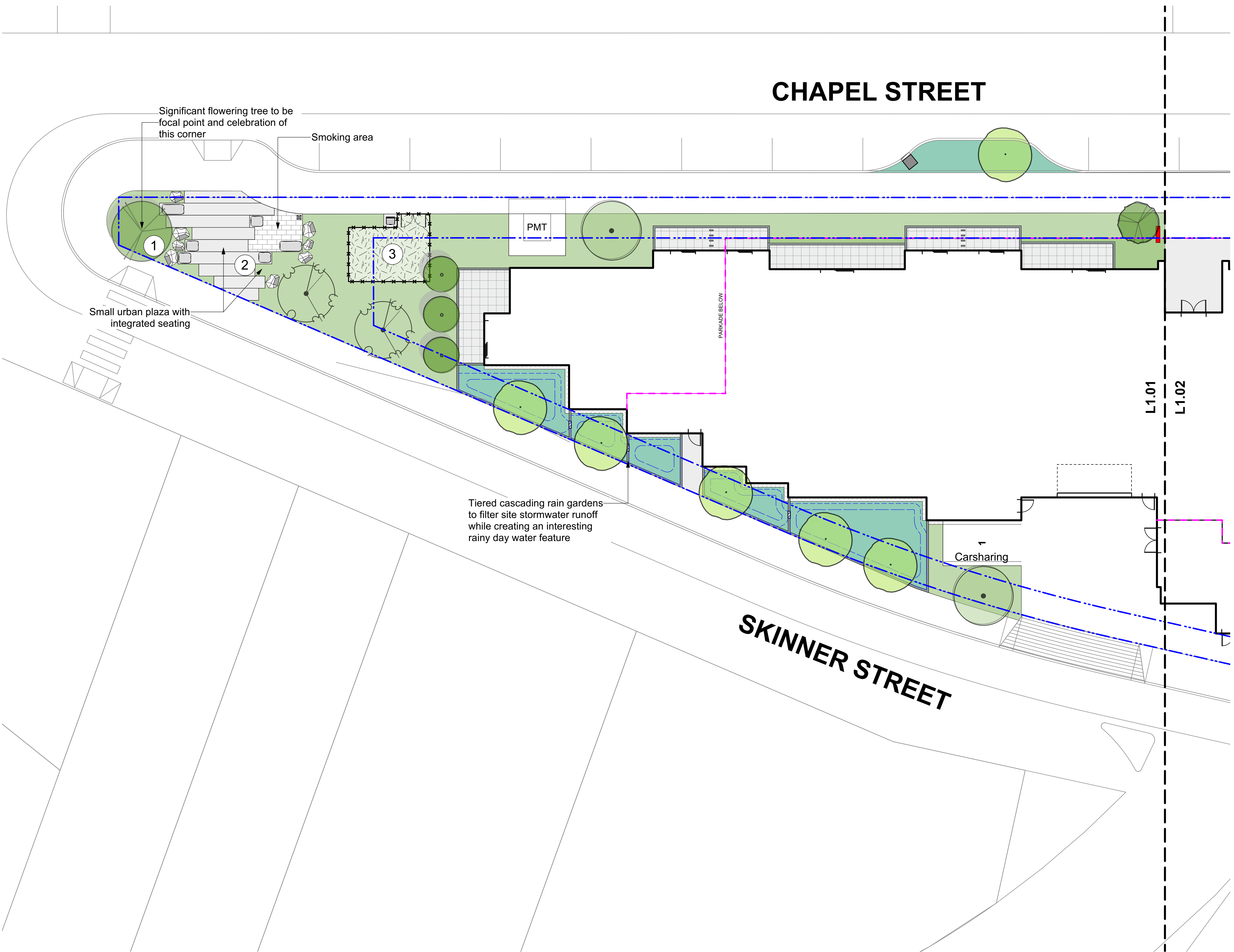
project
77 Chapel Street
77 Chapel Street
Nanaimo, BC

sheet title
Stormwater Management

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2024-JUL-25
Current Planning

project no. 124.09
scale 1:200 @ 24"x36"
drawn by MDI
checked by SM
sheet no.

L0.03



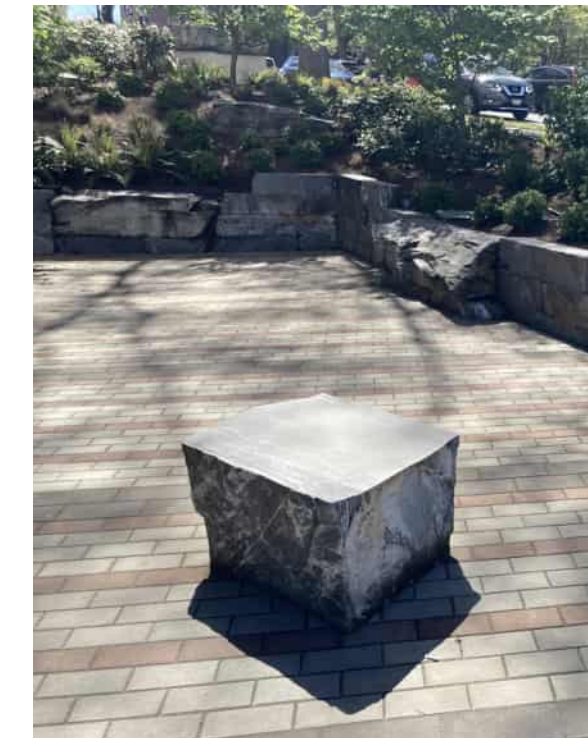
CHAPEL STREET

SKINNER STREET

MATERIALS LEGEND	
	Municipal Sidewalk <i>(for reference only)</i>
	Asphalt Paving - Road / Drive Aisle / Parking <i>(for reference only)</i>
HARDSCAPE SURFACES	
	Concrete Paving Cast in place, light broom finish. Sawcut control joints.
	Unit Paver - Type 1
	Unit Paver - Type 2
	Boardwalk
STEPS, RAMPS, CURBS, WALLS	
	Retaining Wall - Concrete
	Seat Wall - Concrete
	Weir - Concrete
	Landscape Boulder
	Rock Retention
	Stairs with Handrail To meet BCBC requirements
	Ramp with Handrail To meet BCBC requirements
FENCING & RAILS	
	Handrail To meet BCBC Requirements
	Privacy Screen
	Fence - Chain Link (Dog Run) 1200mm height
	Gate 1200mm height
SITE FURNISHINGS	
	Bike Rack
	Bench - Backless with Armrest
	Chair
	Waste Receptacle
	Ash Receptacle
	Stone Seating
	Planter - Metal
SOFTSCAPE	
	Planting Area -Tree & Shrub -On Grade -450mm Depth -Shrub Growing Medium.
	Planting Area -Tree & Shrub -On Slab -Depth Varies. See Plan -Type 1P growing medium. <i>Confirm maximum depth allowable as per Structural Drawings.</i>
	Planting Area -Rain Garden -On Grade -450mm Depth -Rain Garden Growing Medium.
	Synthetic Turf (Dog Run)
	Gravel Maintenance Edge -150 mm Depth, 300 mm Width -Max gravel size 25mm (1")



1. Feature Tree With RGBW Uplight



2. Public Plaza with Incorporated Seating

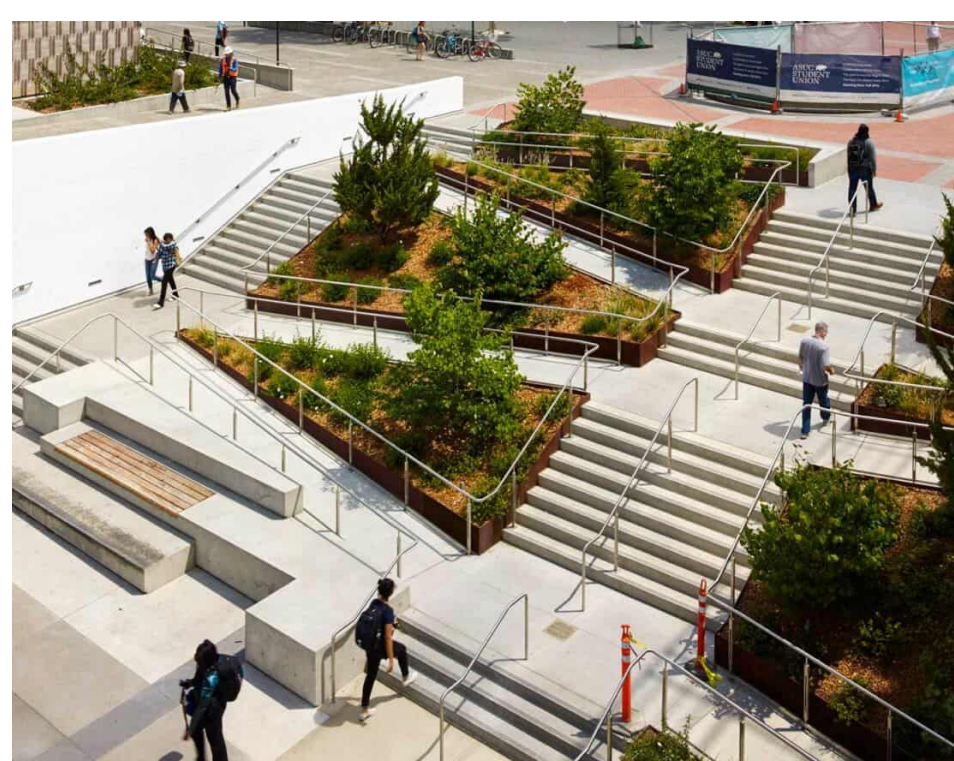


3. Turf Dog Run

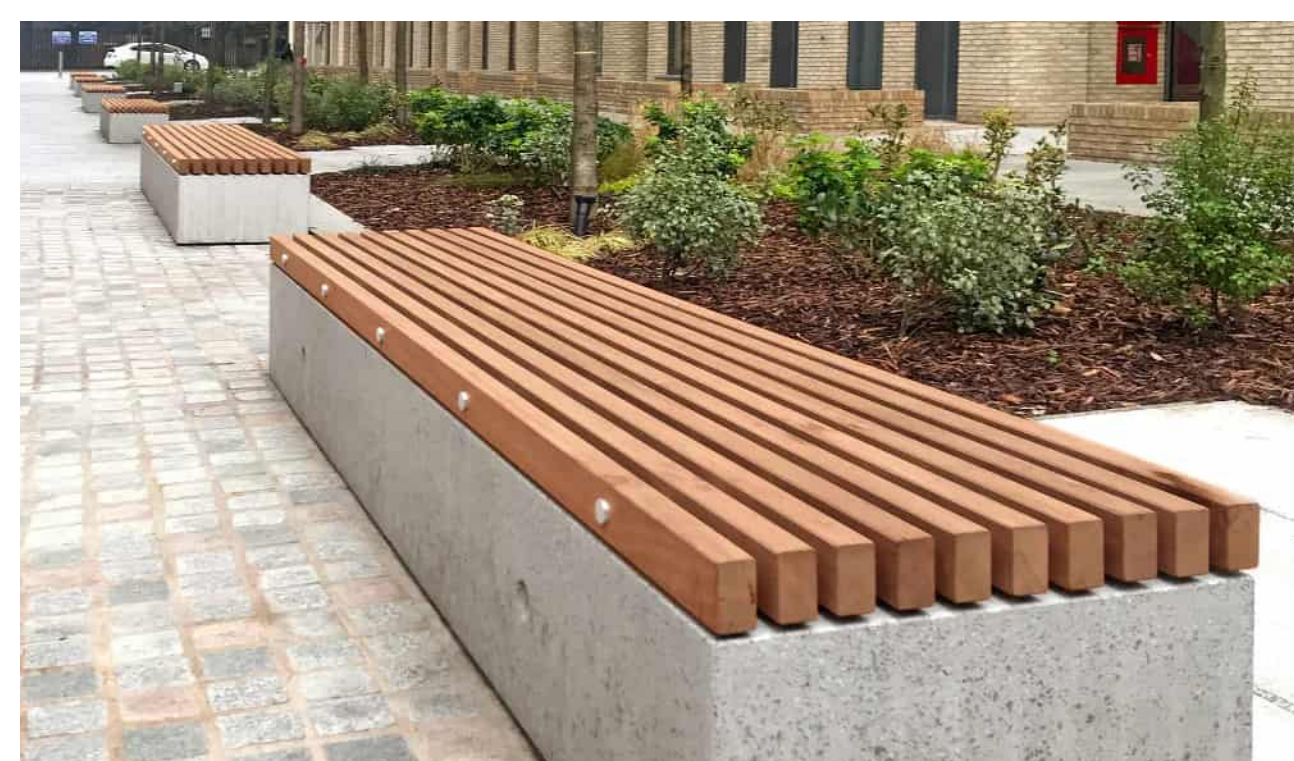
<p>3388A Terryson Ave. Victoria, BC V8Z 3P6 Phone: 250 412-2891 Fax: 250 412-2892</p>		
No.	Issued For	Issue Date
1	DP Submission	2024-07-22
<p>client Primex Investments Ltd. 1758 W 4th Ave #200 Vancouver, BC</p>		
<p>project 77 Chapel Street 77 Chapel Street Nanaimo, BC</p>		
<p>sheet title Landscape Materials</p>		
<p>RECEIVED DP1350 2024-JUL-25 Current Planning</p>		
project no.	124.09	
scale	1: 150 @ 24"x36"	
drawn by	MDI	
checked by	SM	
sheet no.	L1.01	



MATERIALS LEGEND	
	Municipal Sidewalk <i>(for reference only)</i>
	Asphalt Paving - Road / Drive Aisle / Parking <i>(for reference only)</i>
HARDSCAPE SURFACES	
	Concrete Paving Cast in place, light broom finish. Sawcut control joints.
	Unit Paver - Type 1
	Unit Paver - Type 2
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STEPS, RAMPS, CURBS, WALLS	
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	Gate 1200mm height
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	Bike Rack
	Bench - Backless with Armrest
	Chair
	Waste Receptacle
	Ash Receptacle
	Stone Seating
	Planter - Metal
SOFTSCAPE	
	Planting Area -Tree & Shrub -On Grade -450mm Depth -Shrub Growing Medium.
	Planting Area -Tree & Shrub -On Slab -Depth Varies. See Plan -Type 1P growing medium. <i>Confirm maximum depth allowable as per Structural Drawings.</i>
	Planting Area -Rain Garden -On Grade -450mm Depth -Rain Garden Growing Medium.
	Synthetic Turf (Dog Run)
	Gravel Maintenance Edge -150 mm Depth, 300 mm Width -Max gravel size 25mm (1").



1. Accessible Ramp



2. Concrete Wall with Wood Bench



3. Seating Along Walkway

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Victoria, BC V8Z 3P6
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1758 W 4th Ave #200
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project
77 Chapel Street
77 Chapel Street
Nanaimo, BC

sheet title
Landscape Materials

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project no. 124.09
scale 1: 150 @ 24"x36"
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sheet no.

L1.02



Rooftop Amenity Space with Standalone Planters

MATERIALS LEGEND	
	Municipal Sidewalk <i>(for reference only)</i>
	Asphalt Paving - Road / Drive Aisle / Parking <i>(for reference only)</i>
HARDSCAPE SURFACES	
	Concrete Paving Cast in place, light broom finish. Sawcut control joints.
	Unit Paver - Type 1
	Unit Paver - Type 2
	Boardwalk
STEPS, RAMPS, CURBS, WALLS	
	Retaining Wall - Concrete
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	Fence - Chain Link (Dog Run) 1200mm height
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SITE FURNISHINGS	
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SOFTSCAPE	
	Planting Area -Tree & Shrub -On Grade -450mm Depth -Shrub Growing Medium.
	Planting Area -Tree & Shrub -On Slab -Depth Varies. See Plan -Type 1P growing medium. <i>Confirm maximum depth allowable as per Structural Drawings.</i>
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	Gravel Maintenance Edge -150 mm Depth, 300 mm Width -Max gravel size 25mm (1")

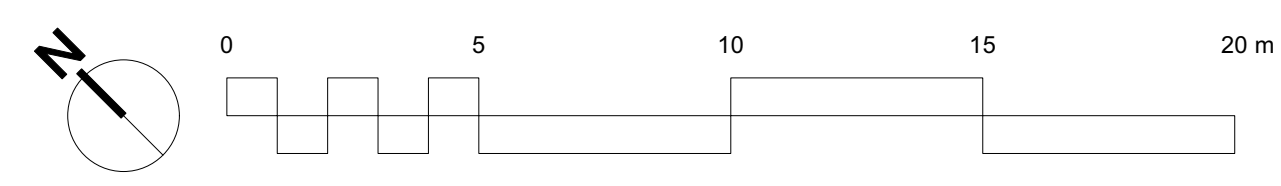
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 <small>3388A Terryson Ave. Victoria, BC V8Z 3P6</small> <small>Phone: 250 412-2891 Fax: 250 412-2892</small>		
 <small>2024-07-22</small>		
client	Primex Investments Ltd. 1758 W 4th Ave #200 Vancouver, BC	
project	77 Chapel Street 77 Chapel Street Nanaimo, BC	
sheet title	Landscape Materials - Roof	
RECEIVED DP1350 2024-JUL-25 <small>Current Planning</small>		
project no.	124.09	
scale	1: 50 @ 24"x36"	
drawn by	MDI	
checked by	SM	
sheet no.	L1.03	



CHAPEL STREET

SKINNER STREET

L2.01
L2.02



GRADING LEGEND

17.70	Proposed Landscape Grade
17.70 EX	Existing Grade
16.90 Arch	Architectural grade, for reference only
17.70	Civil Grade, for reference only

LANDSCAPE INFRASTRUCTURE LEGEND

	Perforated Underdrain
	Sched 40 PVC
	Clean Out
	Rain Garden Overflow Drain
	Area Drain
	Top of Wall Notch Rain Garden Overflow
	Curb Inlet

1	DP Submission	2024-07-22
No.	Issued For	Issue Date



3388A Torrington Ave.
Victoria, BC V8Z 3P6



client
Primex Investments Ltd.
1758 W 4th Ave #200
Vancouver, BC

project
77 Chapel Street
77 Chapel Street
Nanaimo, BC

sheet title
**Landscape Grading
& Drainage**

RECEIVED
DP1350
2024-JUL-25
Current Planning

project no. 124.09
scale 1:150 @ 24"x36"
drawn by MDI
checked by SM
sheet no.

L2.02

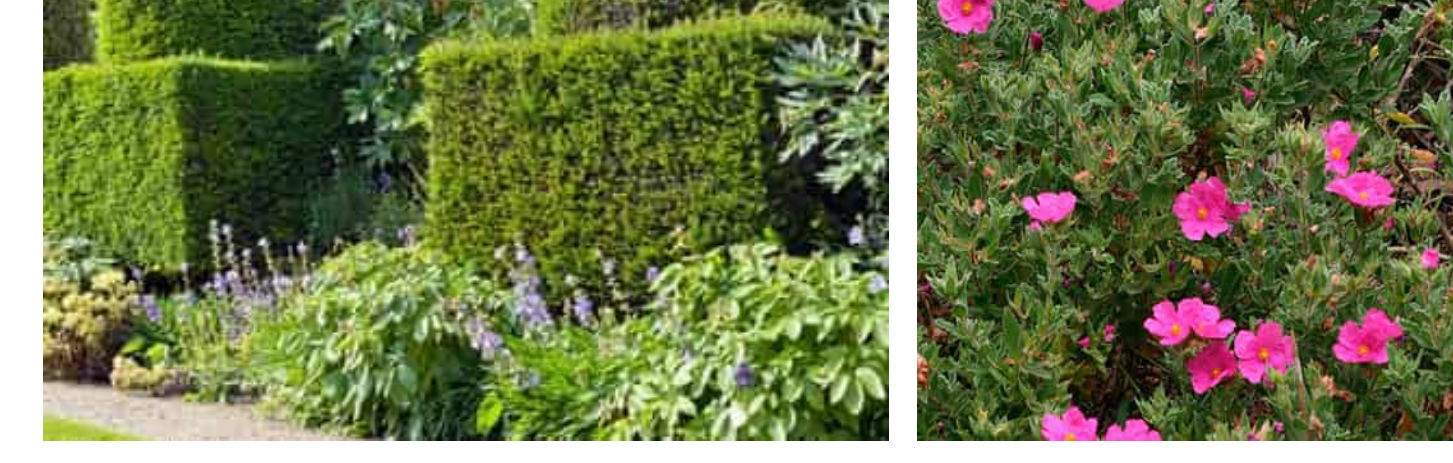


Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
TREES:				
AR	8	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	6.0cm cal, b&b
CCA	6	Cercis canadensis	Eastern Redbud	5.0cm cal, b&b
COK	3	Cornus kousa 'Milky Way'	Milky Way Kousa Dogwood	multistem, 1.5 m ht, b&b
MXG	1	Magnolia x 'Galaxy'	Galaxy Magnolia	5.0cm cal, b&b
NS	8	Nyssa sylvatica 'Wildfire'	Tupelo	5.0cm cal, b&b
POM	2	Picea omorika	Serbian Spruce	2.5m ht, b&b
PSY	1	Pinus sylvestris	Scots Pine	1.5m ht, b&b
OG	2	Quercus garryana	Garry Oak	4.0cm cal, b&b
SHRUBS/FERNS/GRASSES/VINES:				
Au-1	3	Arbutus unedo	Strawberry Tree	#3 pot
Ana	136	Aster novae-angliae	New England Aster	Sp3
Ep	24	Echinacea purpurea	Purple Coneflower	#1 pot
Hmg	108	Hakonechloa macra 'All Gold'	All Gold Japanese Forest Grass	#1 pot
Hap	4	Hamamelis 'intermedia 'Arnold Promise'	Hybrid Witch Hazel	#15 pot
Hto	122	Hebe topiaria	Topiarist's hebe	#1 pot
Lim	71	Liriope muscari	Lily turf	#1 pot
Msa	9	Miscanthus sinensis 'Adagio'	Adagio Maiden Grass	#1 pot
Nep	111	Nepeta x faassenii	Catmint	Sp3
Pat	40	Perovskia atriplicifolia	Russian Sage	#1 pot
PeLS	46	Perovskia 'Little Spire'	Dwarf Russian Sage	Sp3
Pmu	8	Pinus mugo mugo	Dwarf Mugo Pine	#2 pot
Pm	127	Polystichum munitum	Sword Fern	#1 pot
Rs	19	Ribes sanguineum	Red Flowering Currant	#3 pot
Rrs	39	Rosa rugosa 'Schneekoppe'	Snow Pavement Rose	#2 pot
Sar	9	Sarcococca ruscifolia	Sweetbox	#2 pot
Tbr	55	Taxus baccata 'Repandens'	English Weeping Yew	#1 pot
Tax	11	Taxus x media	Hybrid Yew	#5 pot
RAIN GARDEN PLANTS:				
Co	515	Carex obovata	Slough Sedge	#1 pot
Csk	20	Cornus sericea 'Kelseyii'	Dwarf Red-twigged Dogwood	#1 pot
Jcg	239	Juncus 'Carmen's Grey'	Soft Common Rush	Sp3
Lc	134	Lobelia cardinalis	Cardinal Flower	#2 pot
Rf	7	Rudbeckia fulgida	Black-Eyed Susan	#1 pot
Vbd	14	Viburnum davidii	David Viburnum	#2 pot

**FLOWERING PERENNIALS AND FOCAL TREE
NORTH PUBLIC PLAZA (AT TRIANGLE)**



**EVERGREEN HEDGING AND FLOWERING PERENNIALS
CHAPEL STREET**



**SEDGES AND WATER-LOVING FLOWERS
SKINNER STREET RAIN PLANTERS**



1	DP Submission	2024-07-22
No.	Issued For	Issue Date

3388A Terryson Ave. Phone: 250 412-2891
Victoria, BC V8Z 3P6 Fax: 250 412-2892

REGISTERED MEMBER
Scott Murdoch
341
LANDSCAPE ARCHITECTS
Scott Murdoch
2024-07-22

client
Primex Investments Ltd.
1758 W 4th Ave #200
Vancouver, BC

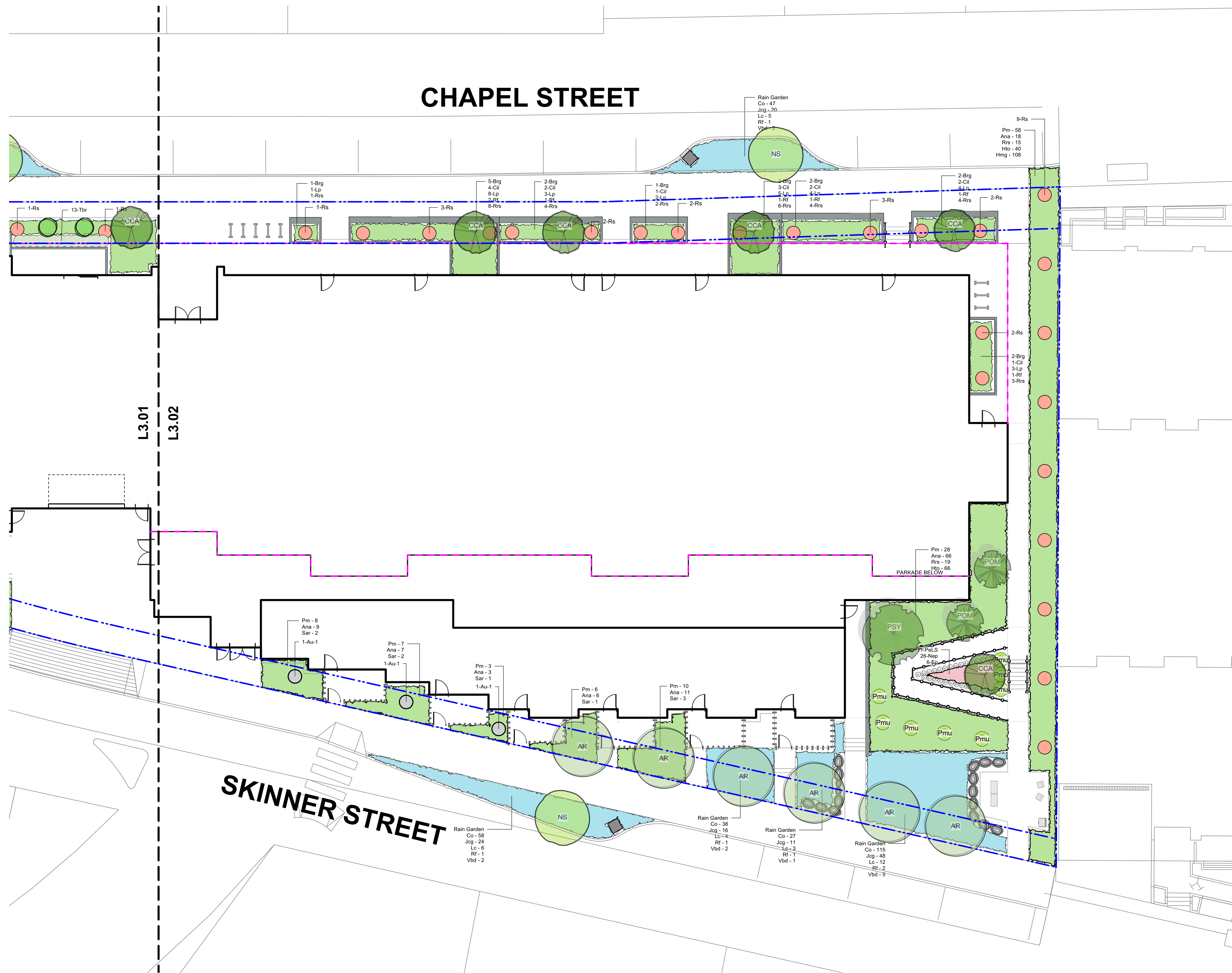
project
77 Chapel Street
77 Chapel Street
Nanaimo, BC

sheet title
Planting

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DP1350
2024-JUL-25
Current Planning

project no.	124.09
scale	1: 150 @ 24"x36"
drawn by	MDI
checked by	SM
sheet no.	L3.01

CHAPEL STREET



Sym	Qty	Botanical Name	Common Name	Sched. Size / Plant Spacing
TREES:				
AR	8	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	6.0cm cal, b&b
CCA	6	Cercis canadensis	Eastern Redbud	5.0cm cal, b&b
COK	3	Cornus kousa 'Milky Way'	Milky Way Kousa Dogwood	multistem, 1.5 m ht, b&b
MXG	1	Magnolia x 'Galaxy'	Galaxy Magnolia	5.0cm cal, b&b
NS	8	Nyssa sylvatica 'Wildfire'	Tupelo	5.0cm cal, b&b
POM	2	Picea omorika	Serbian Spruce	2.5m ht, b&b
PSY	1	Pinus sylvestris	Scots Pine	1.5m ht, b&b
QG	2	Quercus garryana	Garry Oak	4.0cm cal, b&b
SHRUBS/FERNS/GRASSES/VINES:				
Au-1	3	Arbutus unedo	Strawberry Tree	#3 pot
Ana	136	Aster novae-angliae	New England Aster	Sp3
Ep	24	Echinacea purpurea	Purple Coneflower	#1 pot
Hmg	108	Hakonechloa macra 'All Gold'	All Gold Japanese Forest Grass	#15 pot
Hap	4	Hamamelis 'intermedia 'Arnold Promise'	Hybrid Witch Hazel	#15 pot
Hto	122	Hebe topiaria	Topiarist's hebe	#1 pot
Lim	71	Liriope muscari	Lily turf	#1 pot
Msa	9	Miscanthus sinensis 'Adagio'	Adagio Maiden Grass	#1 pot
Nep	111	Nepeta x faassenii	Catmint	Sp3
Pat	40	Perovskia atriplicifolia	Russian Sage	#1 pot
PeLS	46	Perovskia 'Little Spire'	Dwarf Russian Sage	Sp3
Pmu	8	Pinus mugo mugo	Dwarf Mugo Pine	#2 pot
Pm	127	Polystichum munium	Sword Fern	#1 pot
Rrs	19	Ribes sanguineum	Red Flowering Currant	#3 pot
Rrs	39	Rosa rugosa 'Schneekoppe'	Snow Pavement Rose	#2 pot
Sar	9	Sarcococca ruscifolia	Sweetbox	#2 pot
Tbr	55	Taxus baccata 'Repandens'	English Weeping Yew	#1 pot
Tax	11	Taxus x media	Hybrid Yew	#5 pot
RAIN GARDEN PLANTS:				
Co	515	Carex obovata	Slough Sedge	#1 pot
Csk	20	Cornus sericea 'Kelseyii'	Dwarf Red-twigged Dogwood	#1 pot
Jcg	239	Juncus 'Carmen's Grey'	Soft Common Rush	Sp3
Lc	134	Lobelia cardinalis	Cardinal Flower	#2 pot
Rf	7	Rudbeckia fulgida	Black-Eyed Susan	#1 pot
Vbd	14	Viburnum davidii	David Viburnum	#2 pot

SHADE TREES WITH SEDGES AND PERENNIALS BOULEVARD AND RAIN GARDENS



JAPANESE FOREST GRASS PEDESTRIAN CONNECTION FROM SKINNER TO CHAPEL



EVERGREEN SHRUBS, FLOWERS AND FERNS LIVE WORK UNIT FRONT YARDS



No.	Issued For	Issue Date
1	DP Submission	2024-07-22



3388A Tunney Pasture Ave. Victoria, BC V8Z 3P6
Phone: 250 412-2891 Fax: 250 412-2892



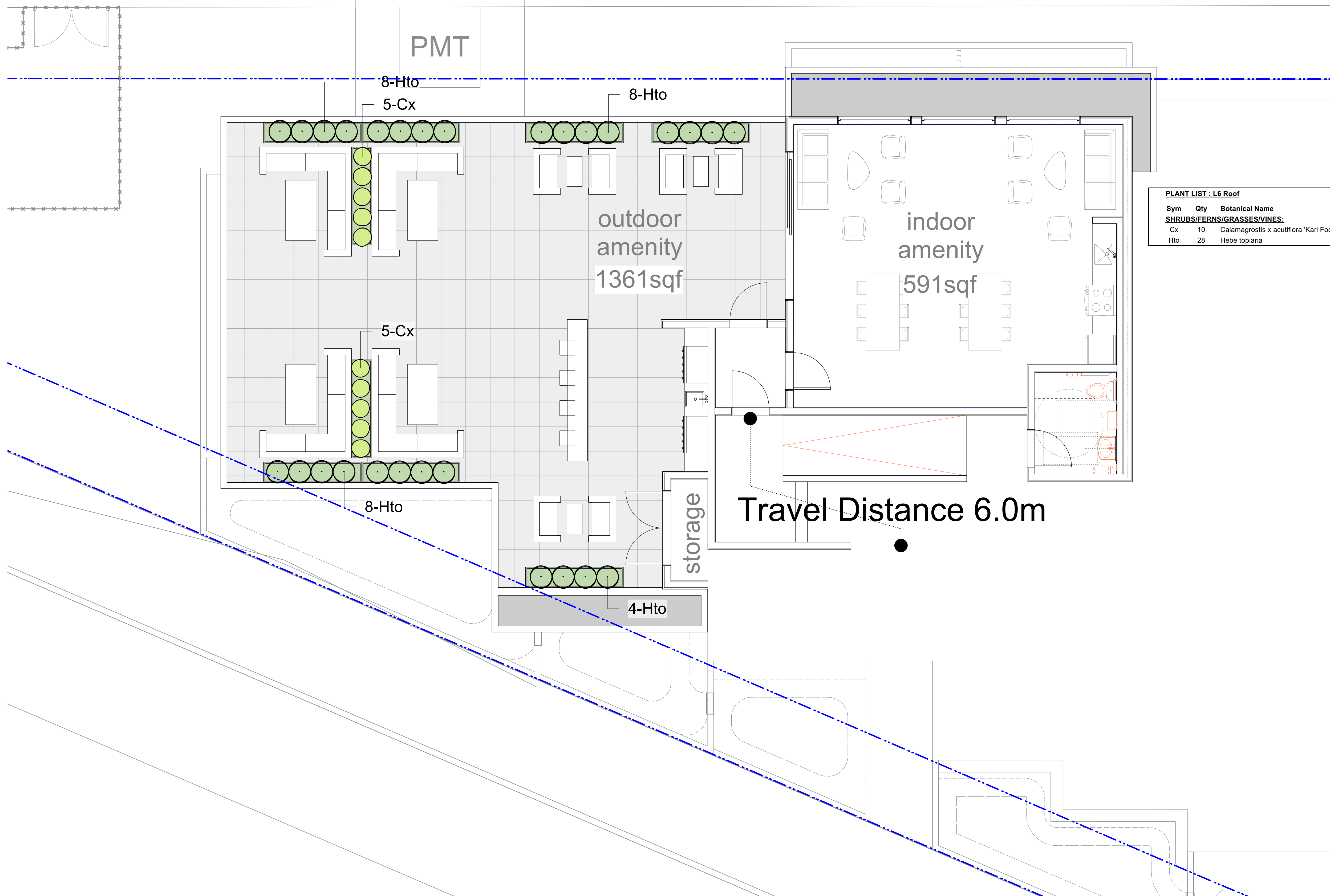
client
Primex Investments Ltd.
1758 W 4th Ave #200
Vancouver, BC

project
77 Chapel Street
77 Chapel Street
Nanaimo, BC

sheet title
Planting



project no.	124.09
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sheet no.	



PLANT LIST : L6 Roof

Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
SHRUBS/FERNS/GRASSES/VINES:				
Cx	10	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#1 pot / 1.8 m O.C.
Hto	28	Hebe topiaria	Topiari'st's hebe	#1 pot

1	DP Submission	2024-07-22
No.	Issued For	Issue Date

MDI
Landscape Architects

3388A Terryson Ave. Victoria, BC V8Z 3P6 Phone: 250 412-2891 Fax: 250 412-2892

BRITISH COLUMBIA SOCIETY OF
REGISTERED
MEMBER
Scott Murdoch
341
LANDSCAPE ARCHITECTS
Scott Murdoch
2024-07-22

client
Primex Investments Ltd.
1758 W 4th Ave #200
Vancouver, BC

project
77 Chapel Street
77 Chapel Street
Nanaimo, BC

sheet title
Planting - Roof

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DP1350
2024-JUL-25
Current Planning

project no. 124.09
scale 1: 50 @ 24"x36"
drawn by MDI
checked by SM
sheet no.

L3.03